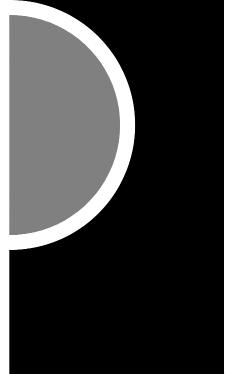
HPS Window Replacements - Phase 1

Early Childhood Elementary 11680 McDougall St., Hamtramck, MI 48212

PARTNERS



Architect: PARTNERS in Architecture, PLC

> 65 Market Street Mount Clemens, MI 48043 586-469-3600

Owner:

Hamtramck Public Schools

3201 Roosevelt St. Hamtramck, MI 48212 (Phone) 313-872-9270 Sheet Numb A0-00 Architectural

A0-01 A0-02 A0-03 A0-04 A1-01 A1-02 A1-03 A3-01 A3-02 A3-03 A5-01 A5-02

A5-03 A6-01

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| General Project Information |
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| Code and Life Safety Information |
| Opening Details |
| Opening Details |
| Lower Level Demo Plan |
| Main Level Demo Plan |
| Upper Level Demo Plan |
| Lower Level Floor Plan |
| Main Level Floor Plan |
| Upper Level Floor Plan |
| Reference Exterior Elevations |
| Reference Exterior Elevations |
| Canopy Exterior Elevations, Enlarged Plans, Section Details |
| Wall Sections, Details |
| |

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OWNER

Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO. 21-155

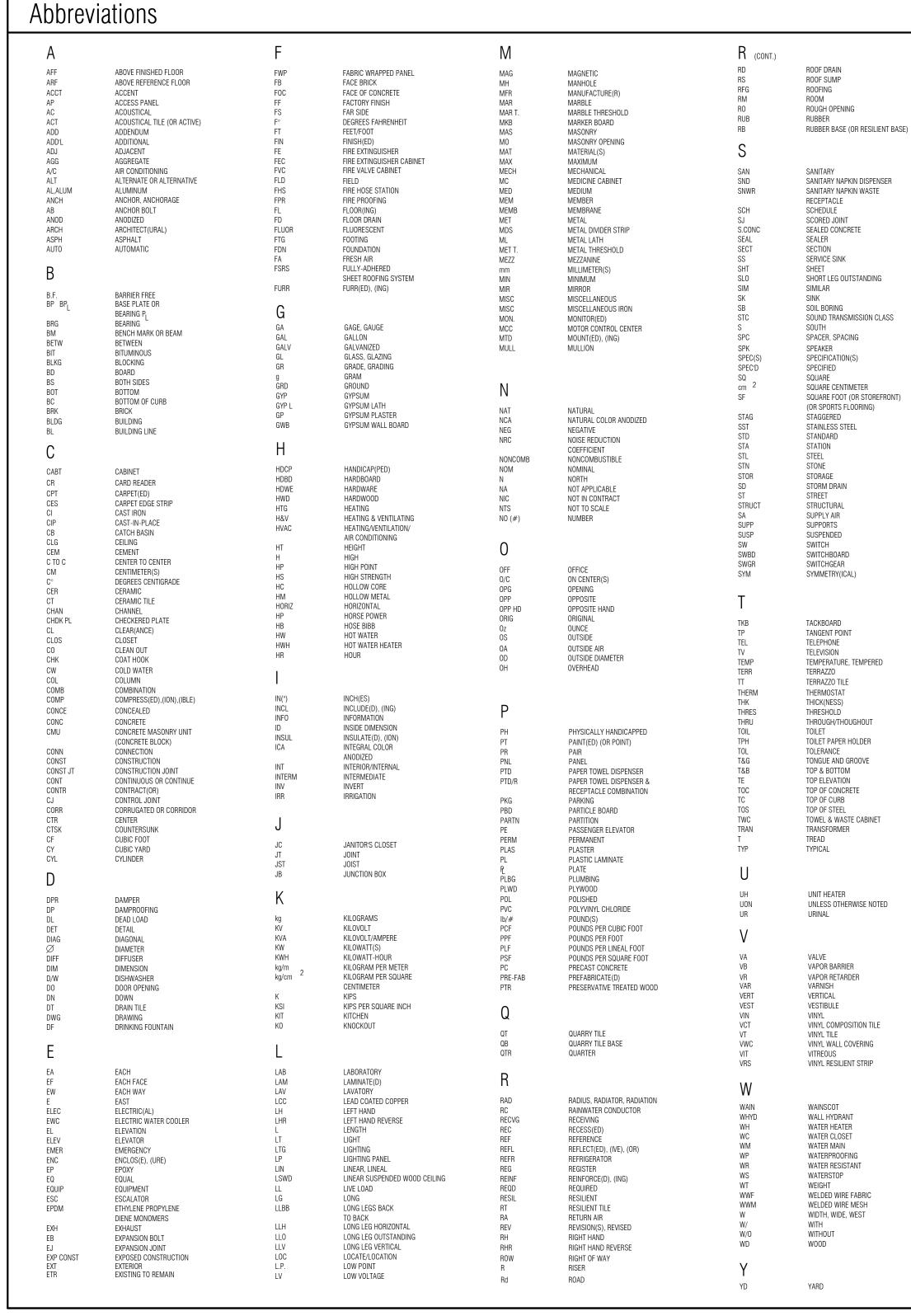
ISSUES / REVISIONS Bidding / Construction 09/13/2022

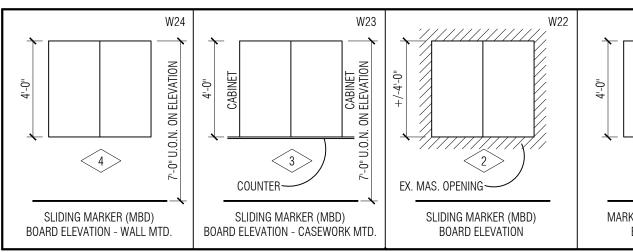
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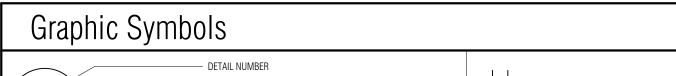
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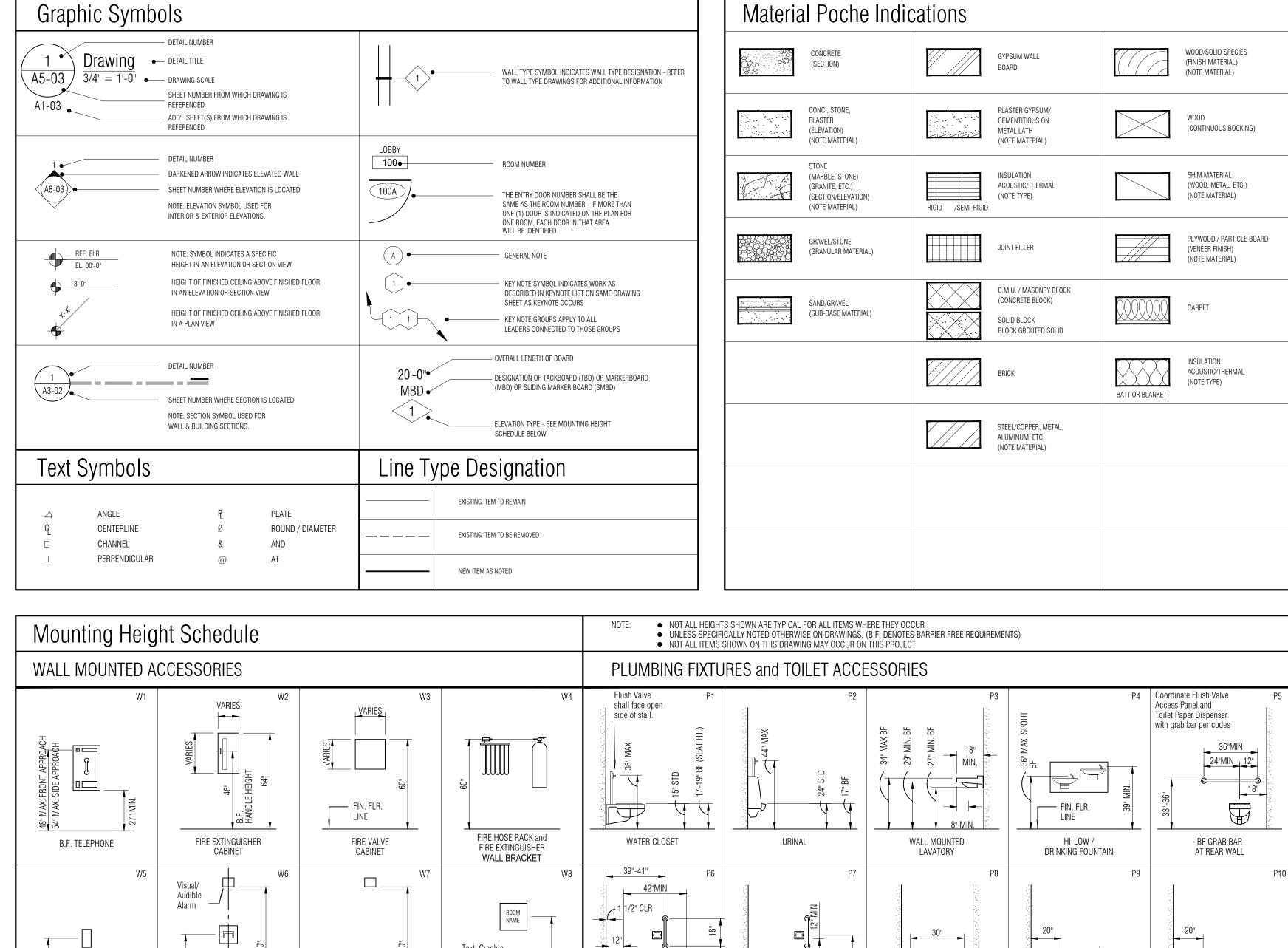
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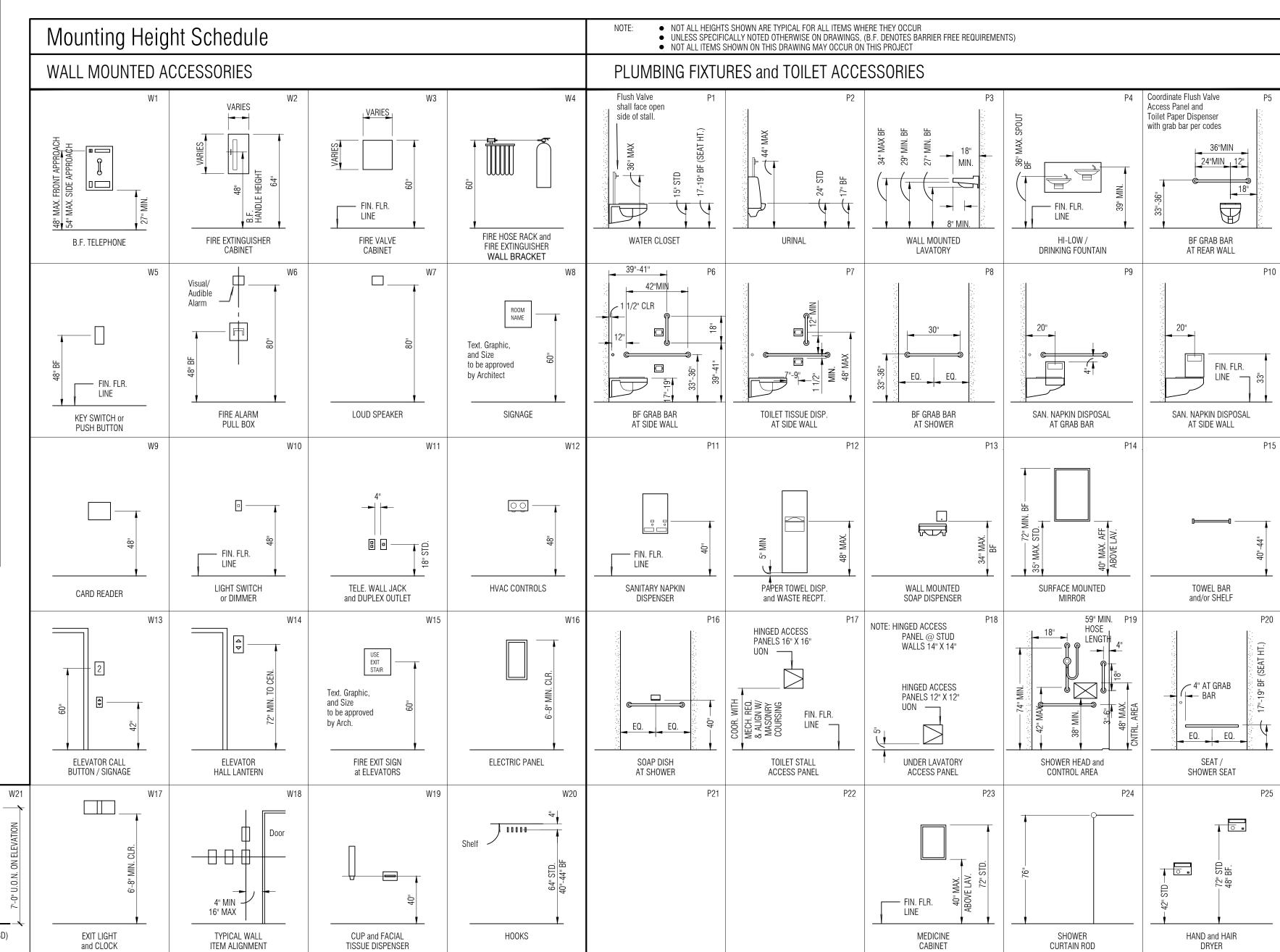
COVER SHEET











 $\langle 1 \rangle$ MARKER (MBD) / TACK (TBD) BOARD ELEVATION

PARTNERS



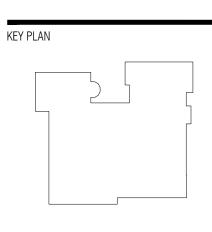
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OWNER Hamtramck Public Schools

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Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO. 21-155

ISSUES / REVISIONS

Bidding / Construction 09/13/2022

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ACS

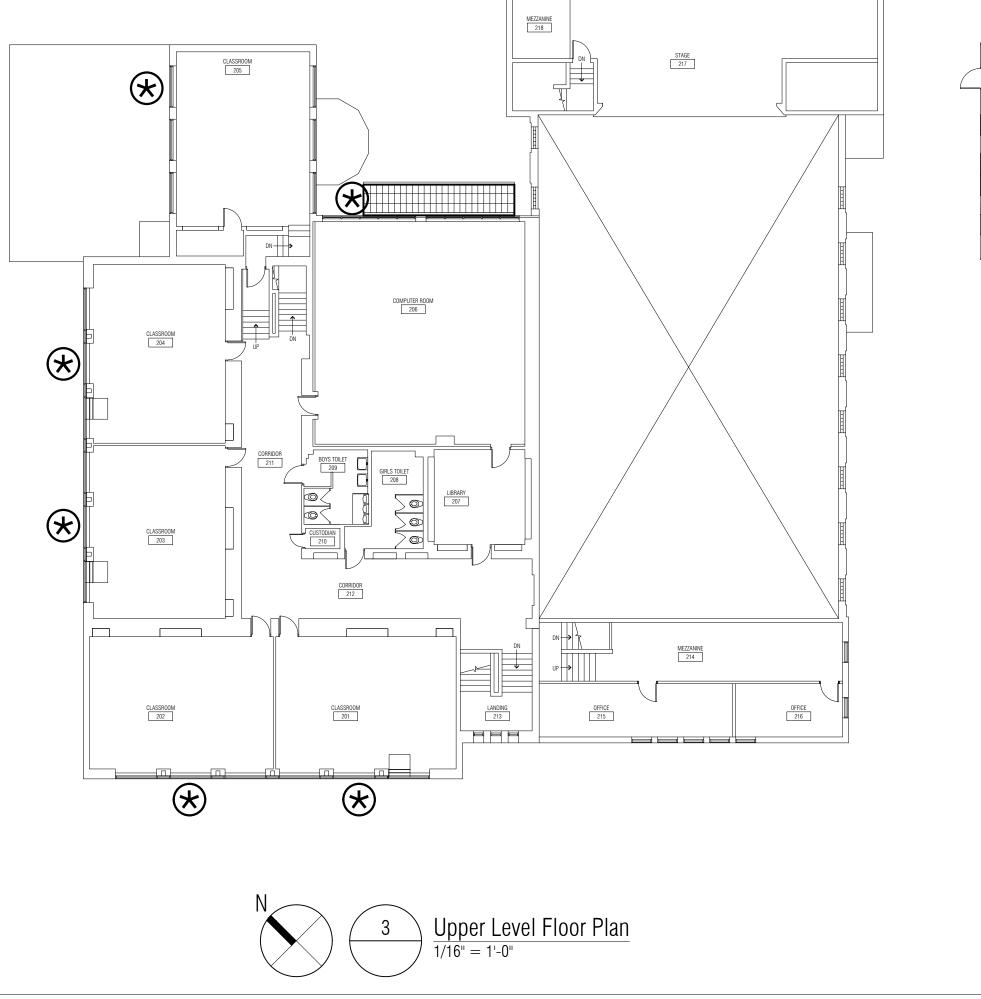
APPROVED BY MAM

SHEET NAME

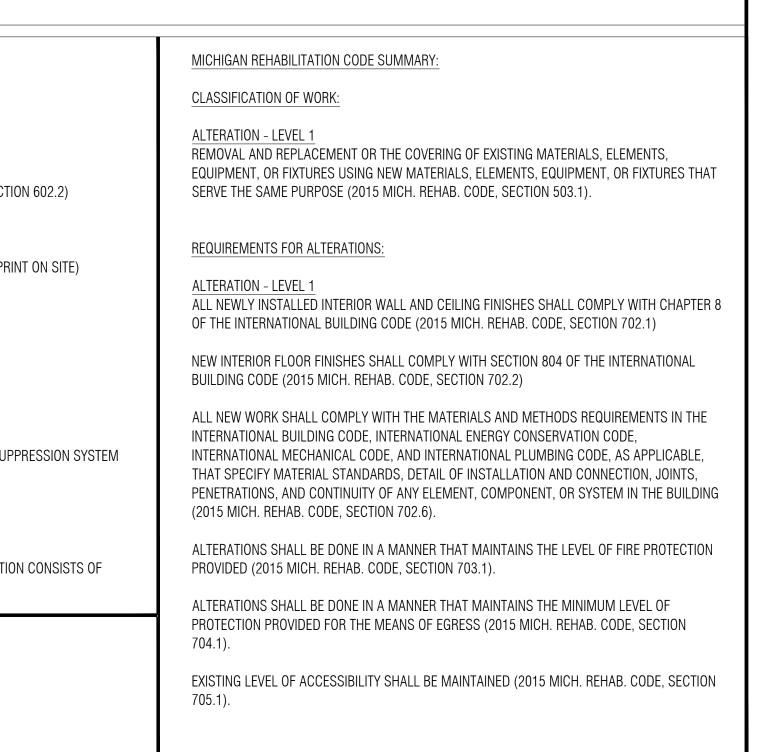
GENERAL INFORMATION

BUILDING CODE INFORMATION

| GENERAL INFORMATIO | N | BUILDING DATA SUMMARY: | |
|-------------------------|---|--|-----------|
| OWNER: | HAMTRAMCK PUBLIC SCHOOLS | USE GROUPS: GROUP E, EDUCATIONAL (2015 MBC, SECTION 305.1) | |
| OWNER ADDRESS: | 3201 Roosevelt Street Hamtramck, MI 48212 | GROUP E, DAY CARE FACILITIES (2015 MBC, SECTION 305.2) | |
| PROJECT NAME: | EARLY CHILDHOOD ELEMENTARY SCHOOL | <u>CONSTRUCTION TYPE:</u> CONSTRUCTION TYPE IIB, NONCOMBUSTIBLE MATERIALS (2015 MB) | C, SECTIC |
| PROJECT ADDRESS: | 11680 McDougall Street Hamtramck, MI 48212 | BUILDING AREA: LOWER LEVEL =6,398 SQUARE FEET (EXISTING)GROUND LEVEL =15,195 SQUARE FEET (EXISTING) | FOOTPRIN |
| SUMMARY OF WORK: | REMOVAL AND REPLACEMENT OF EXISTING WINDOW SYSTEMS THROUGHOUT THE BUILDING. ROUGH | UPPER LEVEL =8,023 SQUARE FEET (EXISTING)TOTAL EXISTING BUILDING AREA = 29,616 SQUARE FEET (ALL LEVE) | LS) |
| | WINDOW OPENINGS TO REMAIN UNALTERED. | NO ADDITIONS OR REDUCTIONS TO EXISTING BUILDING AREA PLANN | IED |
| GOVERNING CODES: | | BUILDING HEIGHT: EXISTING BUILDING HEIGHT TO REMAIN UNCHANGED | |
| 2015 MICHIGAN REHABIL | G CODE (MBC), (IBC 2015 WITH AMENDMENTS) ITATION CODE, (IEBC 2015 WITH AMENDMENTS) CODE (MEC), (IECC 2015 WITH AMENDMENTS AND ASHRAE 90.1-2013) | AUTOMATIC FIRE SUPPRESSION: NONE - EXISTING BUILDING IS NOT PROTECTED BY AN AUTOMATIC F | IRE SUPF |
| 2012 NFPA 101 - LIFE SA | RE CODE (IFC), (AS REFERENCED IN THE 2015 MBC) FETY CODE (WITH AMENDMENTS) HILD CARE CENTERS, MICHIGAN BUREAU OF COMMUNITY AND HEALTH | <u>FIRE ALARM SYSTEM:</u> EXISTING MANUAL FIRE ALARM SYSTEM TO REMAIN. | |
| SYSTEMS | | OCCUPANT LOAD: NO CHANGE TO EXISTING OCCUPANT LOAD PLANNED. STUDENT PO | PULATIO |
| | | PRE-K THROUGH SECOND GRADE, AGES 4 TO 8 YEARS. | |
| | | | |

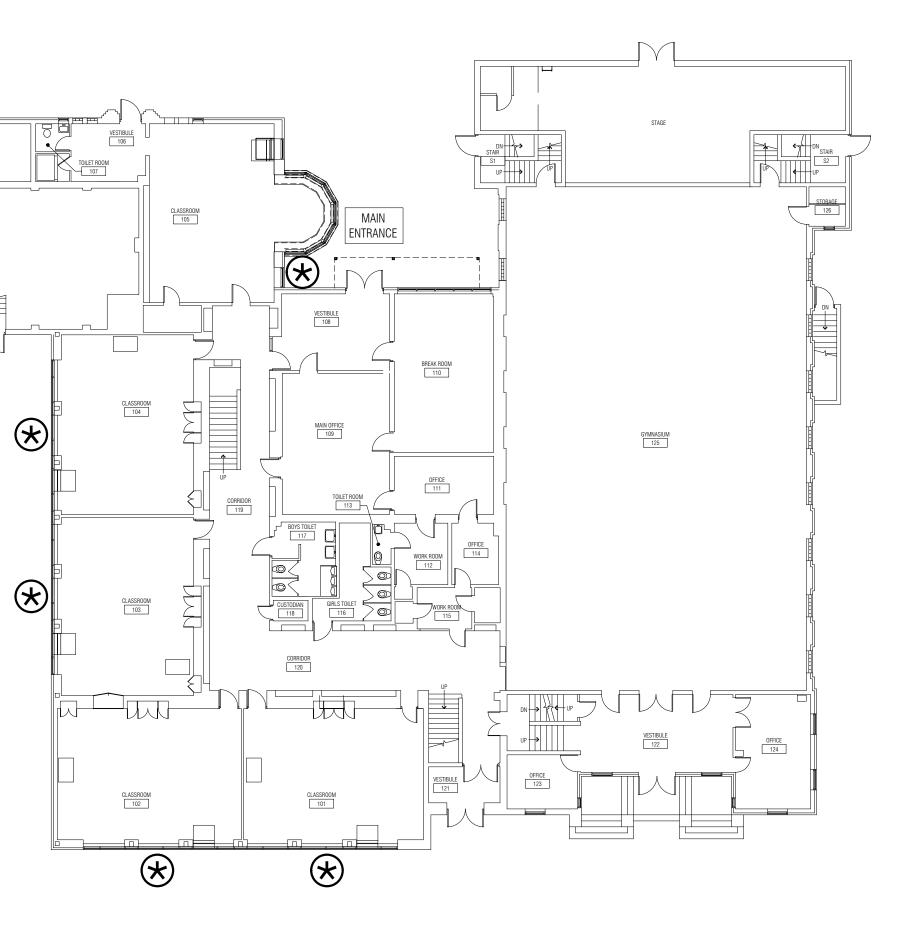


P:\2021\21-155-HPS ECC Window Replacement\02_CAD\A0-02_Code Plan.DWG - 9/13/2022 11:45:51 AM - Pam Elderkin



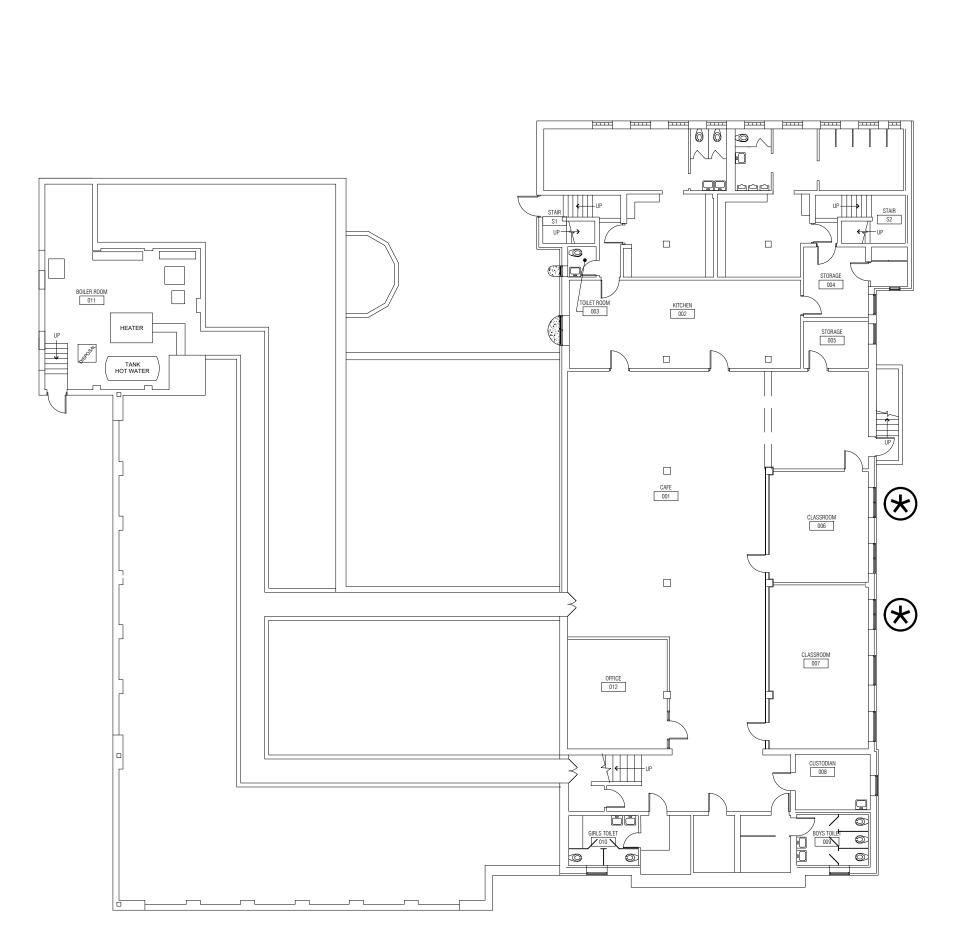
PROJECT CODE NARRATIVE

THE PROJECT IS AN ALTERATION LEVEL 1 WINDOW REPLACEMENT W/ EXISTING OPENING CONSTRUCTION / ROUGH OPENING REMAINING PRIMARILY UNALTERED. THE SCHOOL WADS ORIGINALLY CONSTRUCTED AS AN EDUCATIONAL USE IN APPROXIMATELY 1949. THE ORIGINAL CONSTRUCTION AND SUBSEQUENT ADDITIONS / ALTERATIONS WERE APPROVED UNDER PREVIOUS CODE. NEW WINDOW, MATERIALS AND ACTIVE OPERABLE SASH HAVE BEEN INCLUDED TO COMPLY W/ CURRENT CODE FOR EMERGENCY ESCAPE AND VENTILATION. CERTAIN ASPECTS OF THE EXISTING BUILDING CONSTRUCTION AND LAYOUT PRECLUDE FULL COMPLIANCE IN SOME LOCATIONS. THE EXISTING WINDOWS WERE AWNING STYLE WINDOWS AND ARE BEING REPLACED WITH COMPLIANT CASEMENT STYLE WINDOWS THAT IMPROVE SAFETY TO LIFE IN ALL STUDENT OCCUPIED AREAS. ADDITIONAL OPERABLE WINDOWS ARE REPLACE IN NON-STUDENT OCCUPIED SPACES AS PART OF THIS PROJECT.



Ground Level Floor Plan

1/16" = 1'-0"

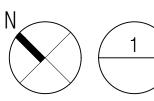


GENERAL LIFE SAFETY NOTES:

- 1. ALL FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS ARE BEING MAINTAINED IN THEIR EXISTING STATE, UNALTERED AS APPROVED UNDER PREVIOUS CODE.
- THESE CODE ANALYSIS DRAWINGS (SHEET A0-02), NOTES, PLANS AND WALL IDENTIFICATION TYPES AND LOCATIONS ARE FOR EMERGENCY EGRESS AND VENTILATION AS REQUIRED FOR LIFE SAFETY AND BUILDING CODE COMPLIANCE. REFER TO OTHER DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.

LIFE SAFETY PLAN LEGEND

INDICATES LOCATION OF EMERGENCY EGRESS WINDOW



 $\frac{\text{Lower Level Floor Plan}}{\frac{1}{16"} = 1'-0"}$

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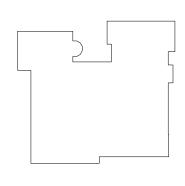
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OWNER Homtrom

Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

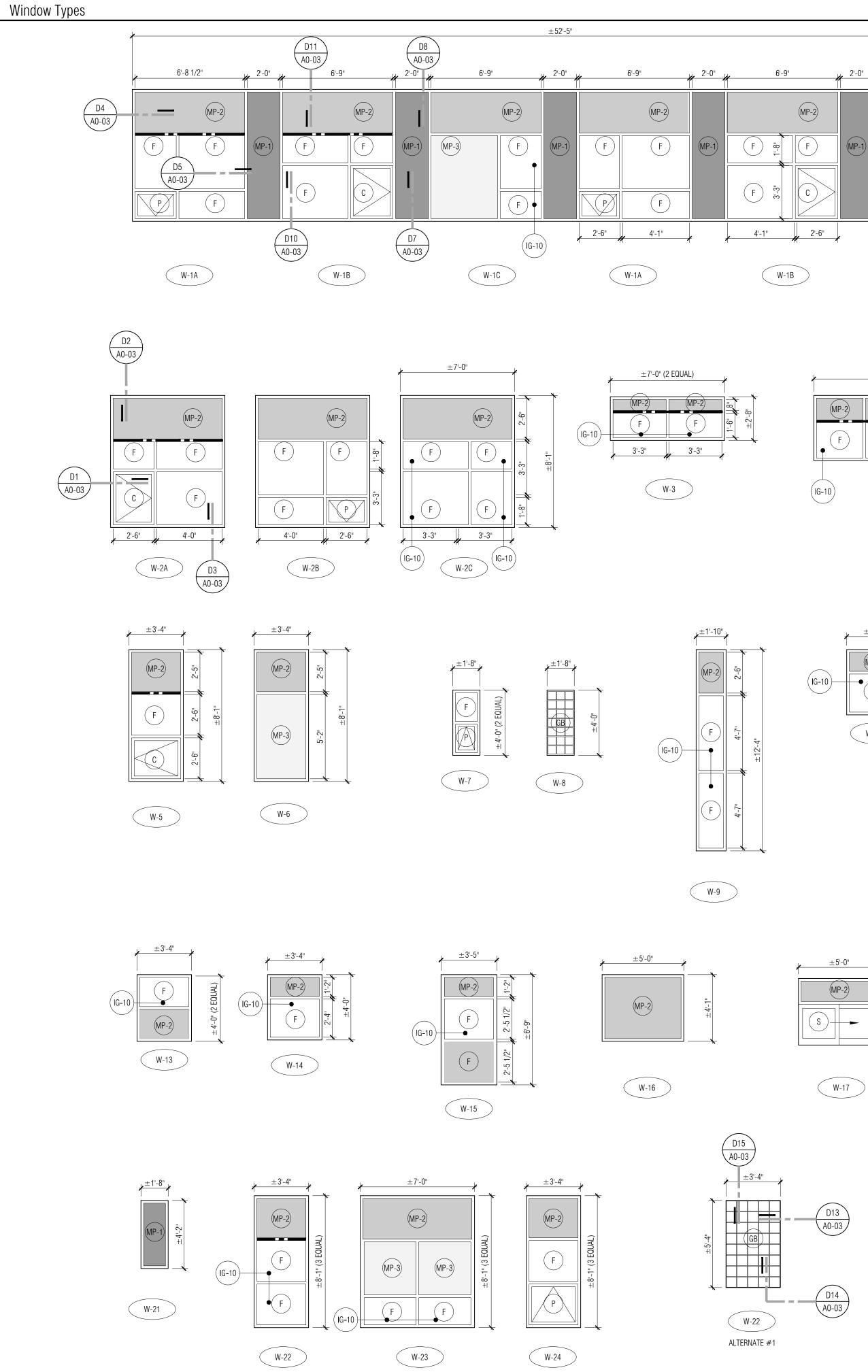
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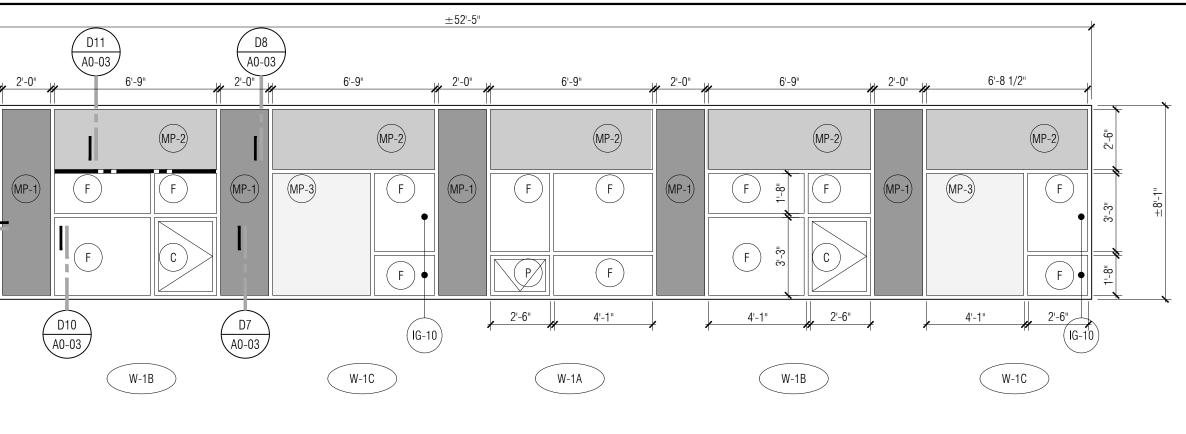
PROJECT NO.

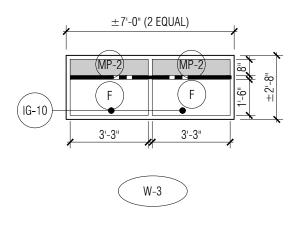
21-155

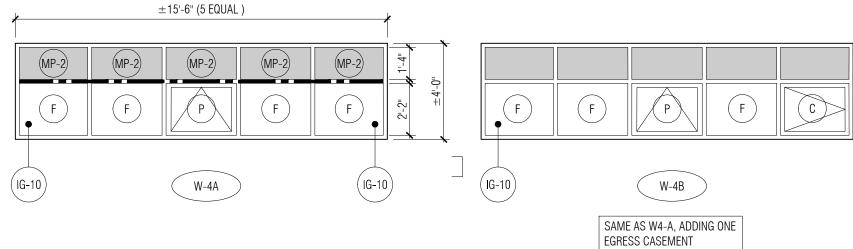
ISSUES / REVISIONS Bidding / Construction 09/13/2022

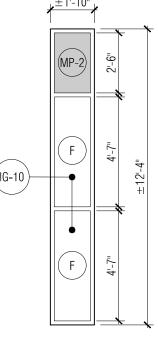
DRAWN BY PJE CHECKED BY ACS APPROVED BY MAM SHEET NAME CODE AND LIFE SAFETY INFORMATION

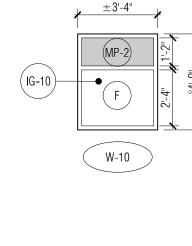


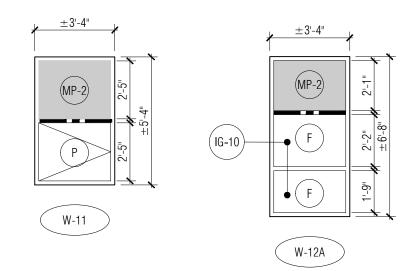


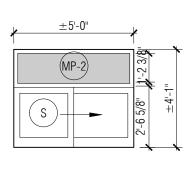


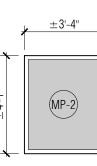










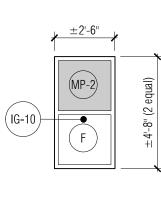


W-18A

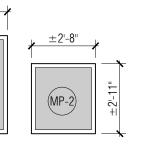
Legend

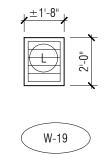
F = FIXED GLAZING / FRAMEP = PROJECT OUT GLAZING / FRAME - PROVIDE INSECT SCREEN ON INSIDE OF FRAME C = CASEMENT GLAZING / FRAMEL = LOUVERS = SLIDING GLAZING / FRAMEMP-1 = METAL PANEL 1MP-2 = METAL PANEL 2MP-3 = METAL PANEL 3GB = GLASS BLOCK(IG-11) ALL GLAZING TO BE IG-11 UNLESS OTHERWISE NOTED -REFER TO SPECS FOR GLAZING SCHEDULE

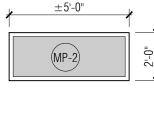
INDICATES LOCATION FOR MOUNTING ROLLER SHADE -REFER TO PLANS FOR LOCATIONS



W-12B







W-20

W-18B

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CONSULTANT

KEY PLAN

OWNER

Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO.

21-155

ISSUES / REVISIONS Bidding / Construction 09/13/2022

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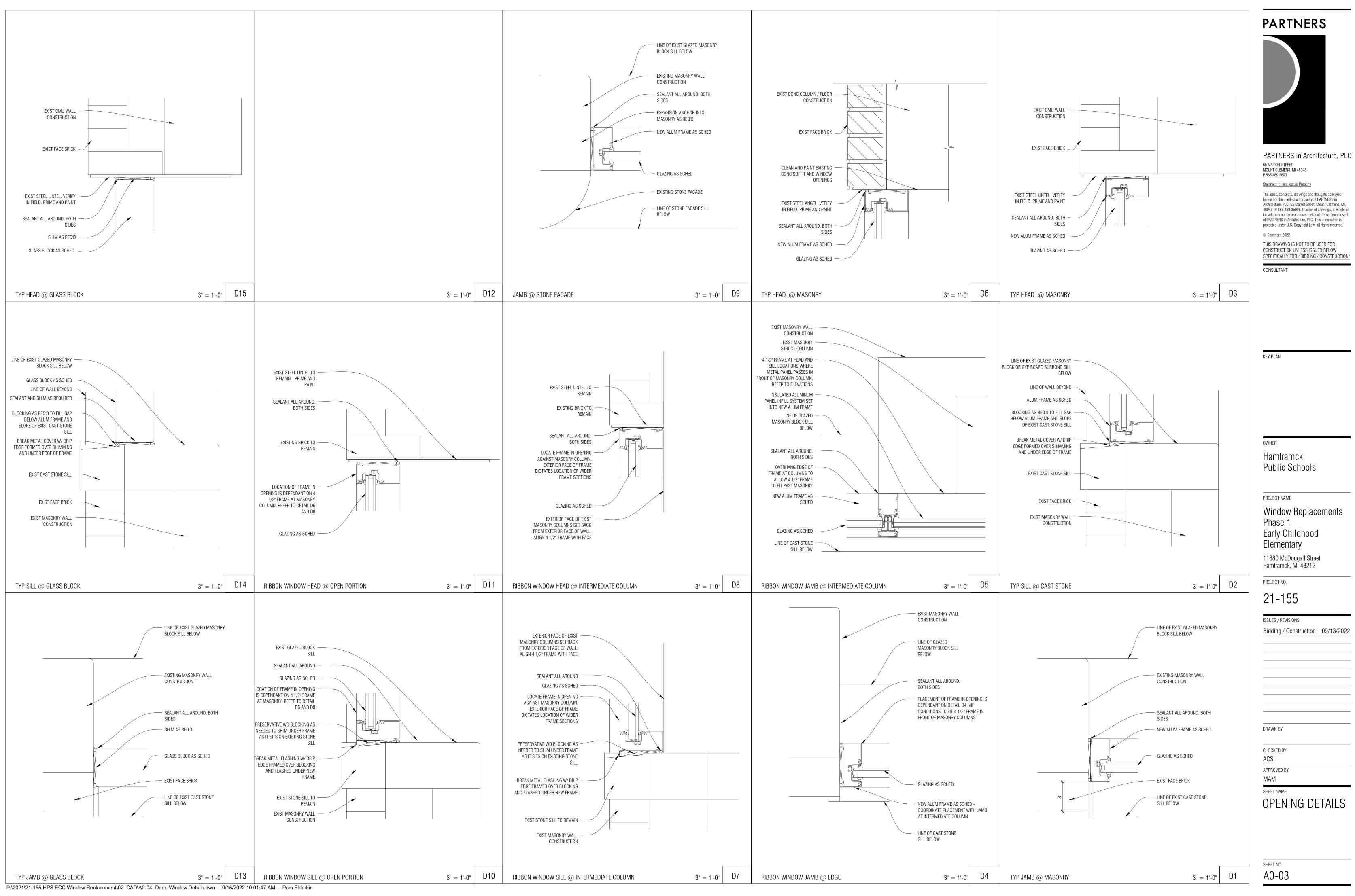
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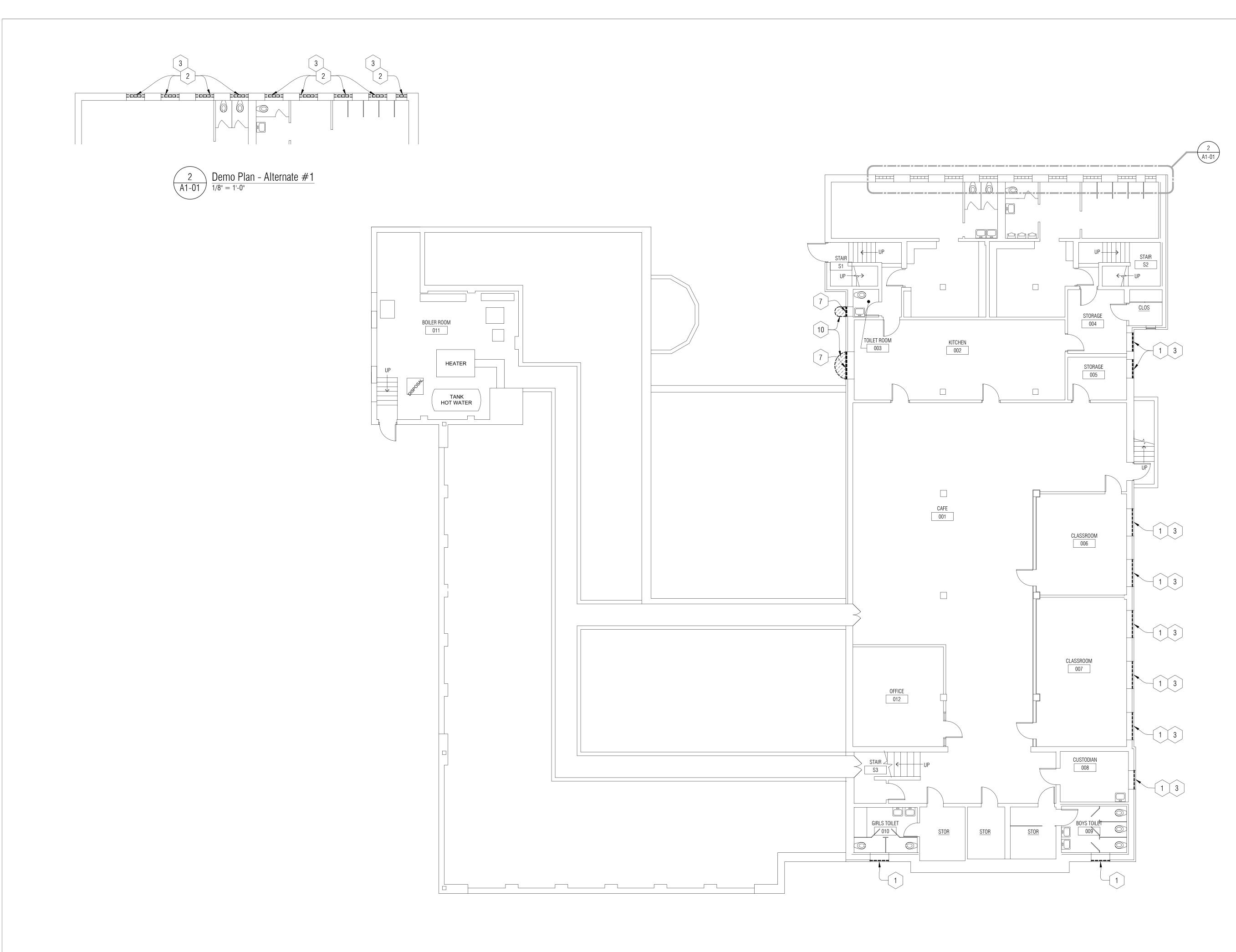
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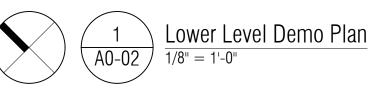
APPROVED BY MAM

SHEET NAME

WINDOW INFORMATION







DEMO PLAN GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO STARTING WORK.
- B. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED AND VERIFY IN FIELD. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CONFLICTS WITH FLOOR PLANS OR EXISTING CONDITIONS PRIOR TO STARTING WORK.
- D. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES, AND SHALL REPAIR ANY DAMAGED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- F. DEMOLITION DRAWINGS AND DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH THE NEW WORK. COORDINATE WITH ALL TRADES
- G. DISPOSE OF ALL DEMOLITION AND CONSTRUCTION MATERIALS LEGALLY OFF SITE.

DEMO PLAN KEY NOTES:

- 1 EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO MASONRY AS POSSIBLE - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 2 <u>ALTERNATE #1:</u> EXISTING GLASS BLOCK TO BE REMOVED -PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 3 EXISTING METAL GRATE OVER WINDOW TO BE REMOVED AND SALVAGED RETURN TO OWNER.
- 4A EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO OUTER MASONRY AS POSSIBLE - REMOVE MTL FRAME AS NECESSARY AT CMU COLUMNS - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 4B EXISTING INNER HOLLOW METAL FRAME, GLAZING SYSTEM AND SEALANT TO BE REMOVED COMPLETE - CLEAN AND PREP OPENING TO RECEIVE NEW WINDOW SYSTEM.
- 5 CAREFULLY REMOVE EXISTING GLAZING AND MTL WINDOW FRAME AS PART OF WINDOW SYSTEM - STEEL ANGELS FOUND BETWEEN THE FRAMES TO REMAIN - REFER TO DETAIL 2/A1-02.
- 6 EXISTING HM FRAME AND GLAZING SYSTEM TO BE REMOVED - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 7 EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO MASONRY AS POSSIBLE FOR NEW LOUVER AND FRAME - PREP OPENING TO RECEIVE NEW MASONRY - REFER TO NEW WORK PLAN AND DETAILS.
- 8 AREA OF CONCRETE TO BE REMOVED AS REQUIRED FOR STEEL COLUMN FOUNDATIONS - REFER TO DETAIL XX/AX-XX.
- 9 EXISTING WALL MOUNT CAMERA TO BE REMOVED AND RELOCATED - COORDINATE NEW LOCATION W/ OWNER.
- 10 REMOVE EXCESS DEBRIS FROM WINDOW WELL PREP ALL SURFACES TO RECEIVE NEW CONC FILL - COORDINATE W/ NEW WORK AT MASONRY WALL INFILL.
- EXISTING CHAIN LINK GATE AND POSTS TO BE REMOVED COMPLETE.
- 12 REFER TO A1-01 FOR DEMO WORK THIS AREA.
- 13 CLEANING OF EXISTING STONE SILLS TO HAPPEN BEFORE REMOVAL OF EXISTING WINDOW SYSTEM - REFER TO NEW WORK KEY NOTES.
- 14 REMOVE EXISTING ALUMINUM AWNING (+/-8'-0" A.F.F) AND ALL ASSOCIATED COMPONENTS COMPLETE.

PARTNERS

PARTNERS in Architecture, PLC 65 MARKET STREET MOUNT CLEMENS, MI 48043 P 586.469.3600

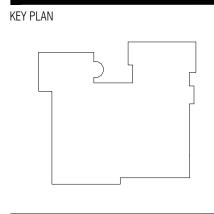
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PROJECT NO.

ISSUES / REVISIONS

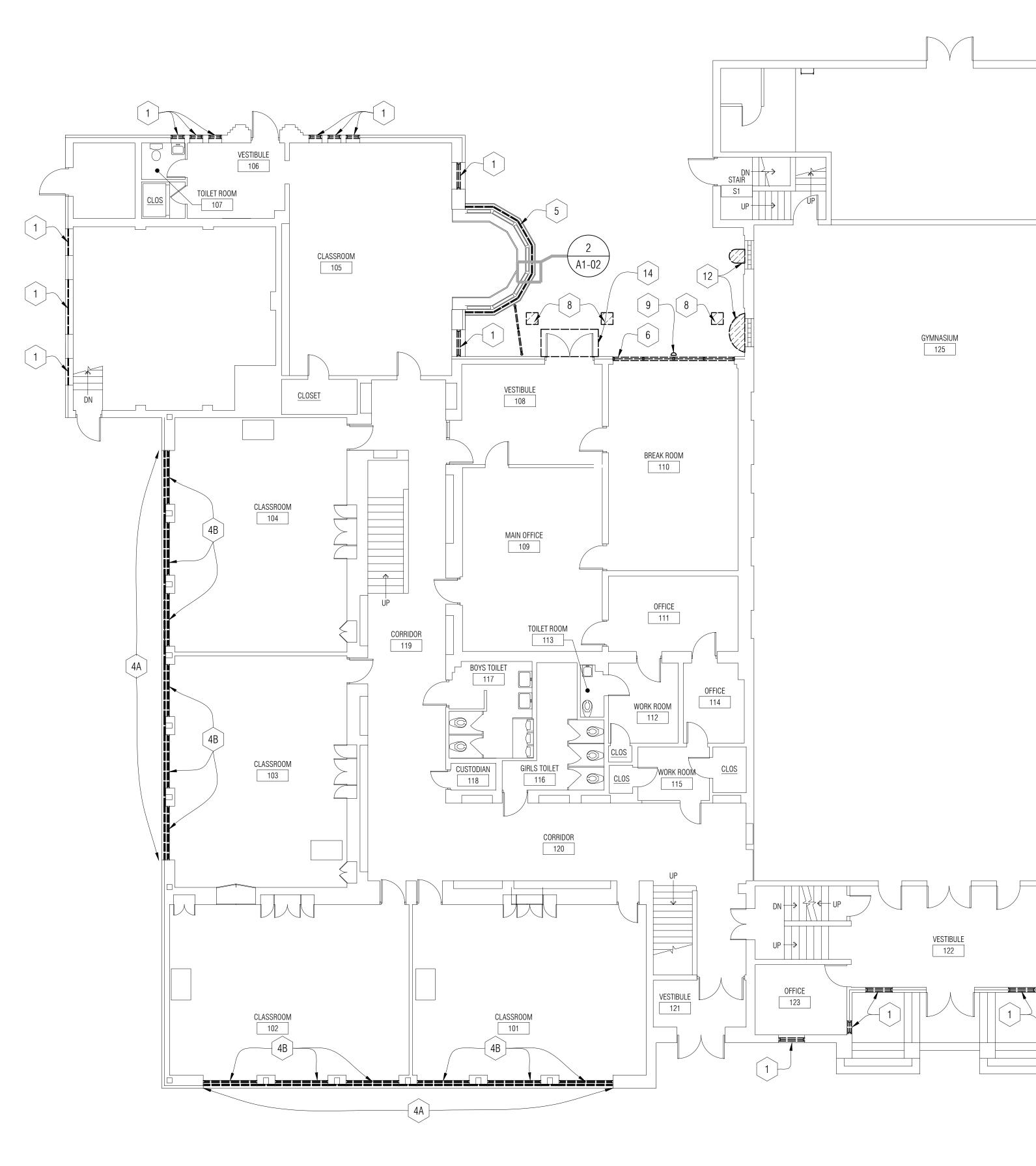
Bidding / Construction 09/13/2022

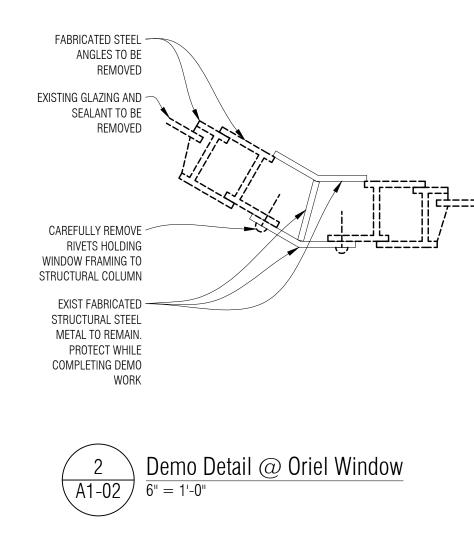
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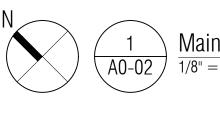
APPROVED BY

SHEET NAME

LOWER LEVEL DEMO PLAN







 $\frac{1}{1/8"} = 1'-0"$

DEMO PLAN GENERAL NOTES:

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- G. DISPOSE OF ALL DEMOLITION AND CONSTRUCTION MATERIALS LEGALLY OFF SITE.

DEMO PLAN KEY NOTES:

STAIR

S2

STORAGE

126

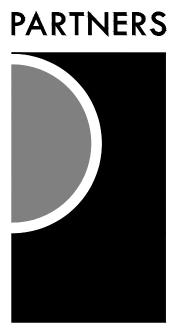
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0FFICE 124

- 1 EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO MASONRY AS POSSIBLE - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
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- 13 CLEANING OF EXISTING STONE SILLS TO HAPPEN BEFORE REMOVAL OF EXISTING WINDOW SYSTEM - REFER TO NEW WORK KEY NOTES.
- 14 REMOVE EXISTING ALUMINUM AWNING (+/-8'-0" A.F.F) AND ALL ASSOCIATED COMPONENTS COMPLETE.



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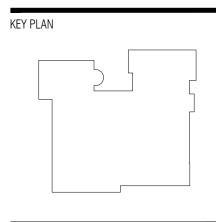
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OWNER

Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO.

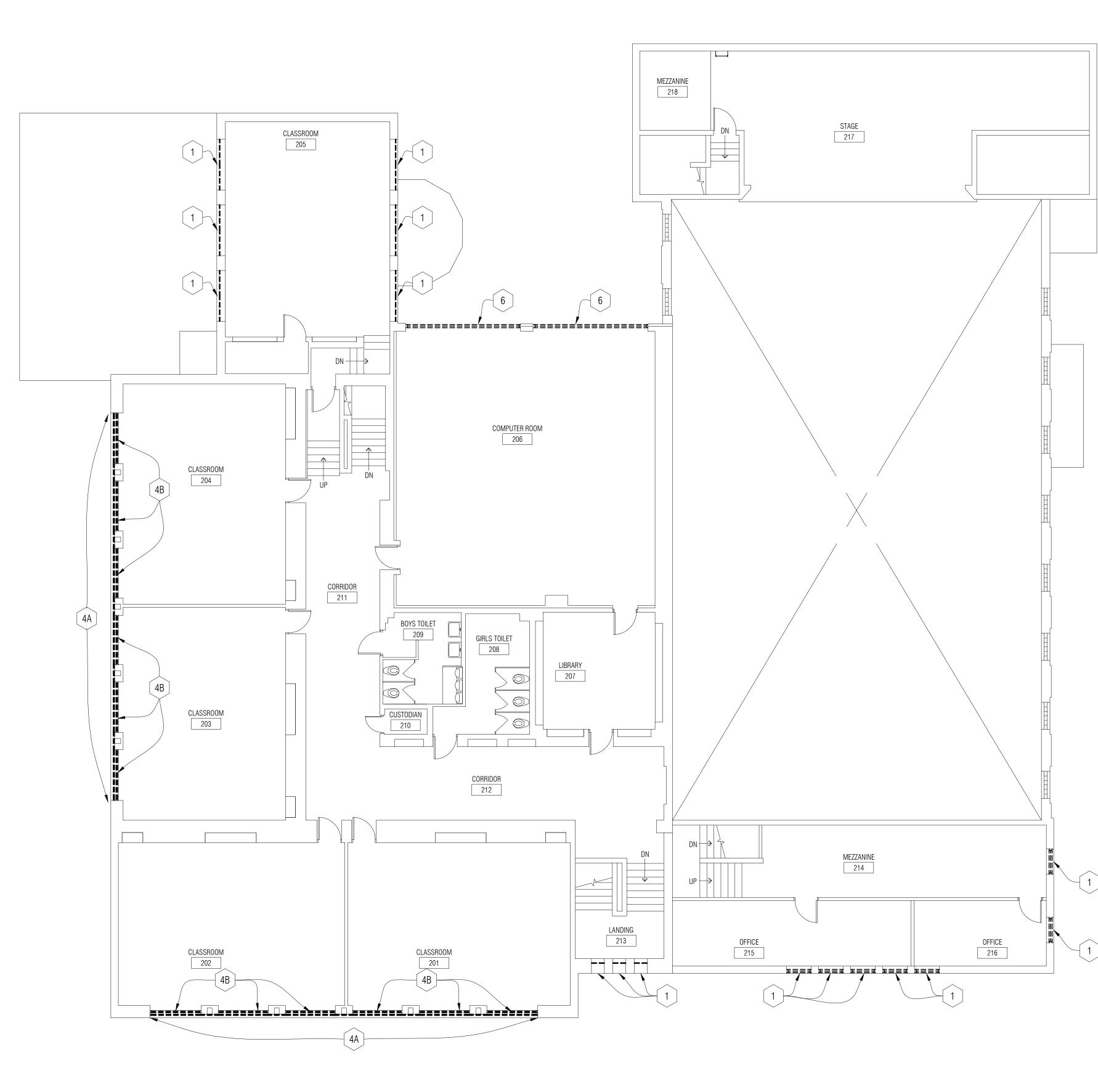
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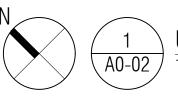
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| CHECKED BY ACS | |
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| SHEET NAME | |
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MAIN LEVEL DEMO PLAN





 $\frac{\text{Upper Level Demo Plan}}{1/8" = 1'-0"}$

DEMO PLAN GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO STARTING WORK.
- B. DO NOT SCALE DRAWINGS. USE DIMENSIONS PROVIDED AND VERIFY IN FIELD. IF A CONFLICT IS ENCOUNTERED OR A REQUIRED DIMENSION IS NOT PROVIDED, REQUEST A CLARIFICATION FROM THE ARCHITECT.
- C. NOTIFY ARCHITECT OF ANY DISCREPANCIES AND/OR CONFLICTS WITH FLOOR PLANS OR EXISTING CONDITIONS PRIOR TO STARTING WORK.
- D. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING BUILDING ELEMENTS AND SITE FROM DAMAGE CAUSED BY CONSTRUCTION OR CONSTRUCTION TRADES, AND SHALL REPAIR ANY DAMAGED AREAS AT NO ADDITIONAL COST TO THE OWNER.
- F. DEMOLITION DRAWINGS AND DETAILS ARE PROVIDED TO SHOW THE GENERAL SCOPE OF THE DEMOLITION WORK. IT IS THE CONTRACTORS RESPONSIBILITY TO PERFORM ALL DEMOLITION WORK NECESSARY TO ACCOMPLISH THE NEW WORK. COORDINATE WITH ALL TRADES
- G. DISPOSE OF ALL DEMOLITION AND CONSTRUCTION MATERIALS LEGALLY OFF SITE.

DEMO PLAN KEY NOTES:

- 1 EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO MASONRY AS POSSIBLE - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 2 <u>ALTERNATE #1:</u> EXISTING GLASS BLOCK TO BE REMOVED -PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 3 EXISTING METAL GRATE OVER WINDOW TO BE REMOVED AND SALVAGED RETURN TO OWNER.
- 4A EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO OUTER MASONRY AS POSSIBLE - REMOVE MTL FRAME AS NECESSARY AT CMU COLUMNS - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 4B EXISTING INNER HOLLOW METAL FRAME, GLAZING SYSTEM AND SEALANT TO BE REMOVED COMPLETE - CLEAN AND PREP OPENING TO RECEIVE NEW WINDOW SYSTEM.
- 5 CAREFULLY REMOVE EXISTING GLAZING AND MTL WINDOW FRAME AS PART OF WINDOW SYSTEM - STEEL ANGELS FOUND BETWEEN THE FRAMES TO REMAIN - REFER TO DETAIL 2/A1-02.
- 6 EXISTING HM FRAME AND GLAZING SYSTEM TO BE REMOVED - PREP OPENING TO RECEIVE NEW WINDOW SYSTEM - REFER TO NEW WORK PLAN.
- 7 EXISTING MTL FRAME AND GLASS WINDOW SYSTEM TO BE REMOVED - CUT MTL FRAME AS CLOSE TO MASONRY AS POSSIBLE FOR NEW LOUVER AND FRAME - PREP OPENING TO RECEIVE NEW MASONRY - REFER TO NEW WORK PLAN AND DETAILS.
- 8 AREA OF CONCRETE TO BE REMOVED AS REQUIRED FOR STEEL COLUMN FOUNDATIONS - REFER TO DETAIL XX/AX-XX.
- 9 EXISTING WALL MOUNT CAMERA TO BE REMOVED AND RELOCATED - COORDINATE NEW LOCATION W/ OWNER.
- 10 REMOVE EXCESS DEBRIS FROM WINDOW WELL PREP ALL SURFACES TO RECEIVE NEW CONC FILL - COORDINATE W/ NEW WORK AT MASONRY WALL INFILL.
- EXISTING CHAIN LINK GATE AND POSTS TO BE REMOVED COMPLETE.
- 12 REFER TO A1-01 FOR DEMO WORK THIS AREA.
- 13 CLEANING OF EXISTING STONE SILLS TO HAPPEN BEFORE REMOVAL OF EXISTING WINDOW SYSTEM - REFER TO NEW WORK KEY NOTES.
- 14 REMOVE EXISTING ALUMINUM AWNING (+/-8'-0" A.F.F) AND ALL ASSOCIATED COMPONENTS COMPLETE.

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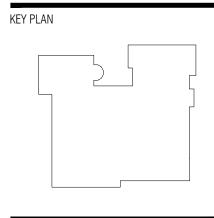
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OWNER

Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO.

21-155

ISSUES / REVISIONS

Bidding / Construction 09/13/2022

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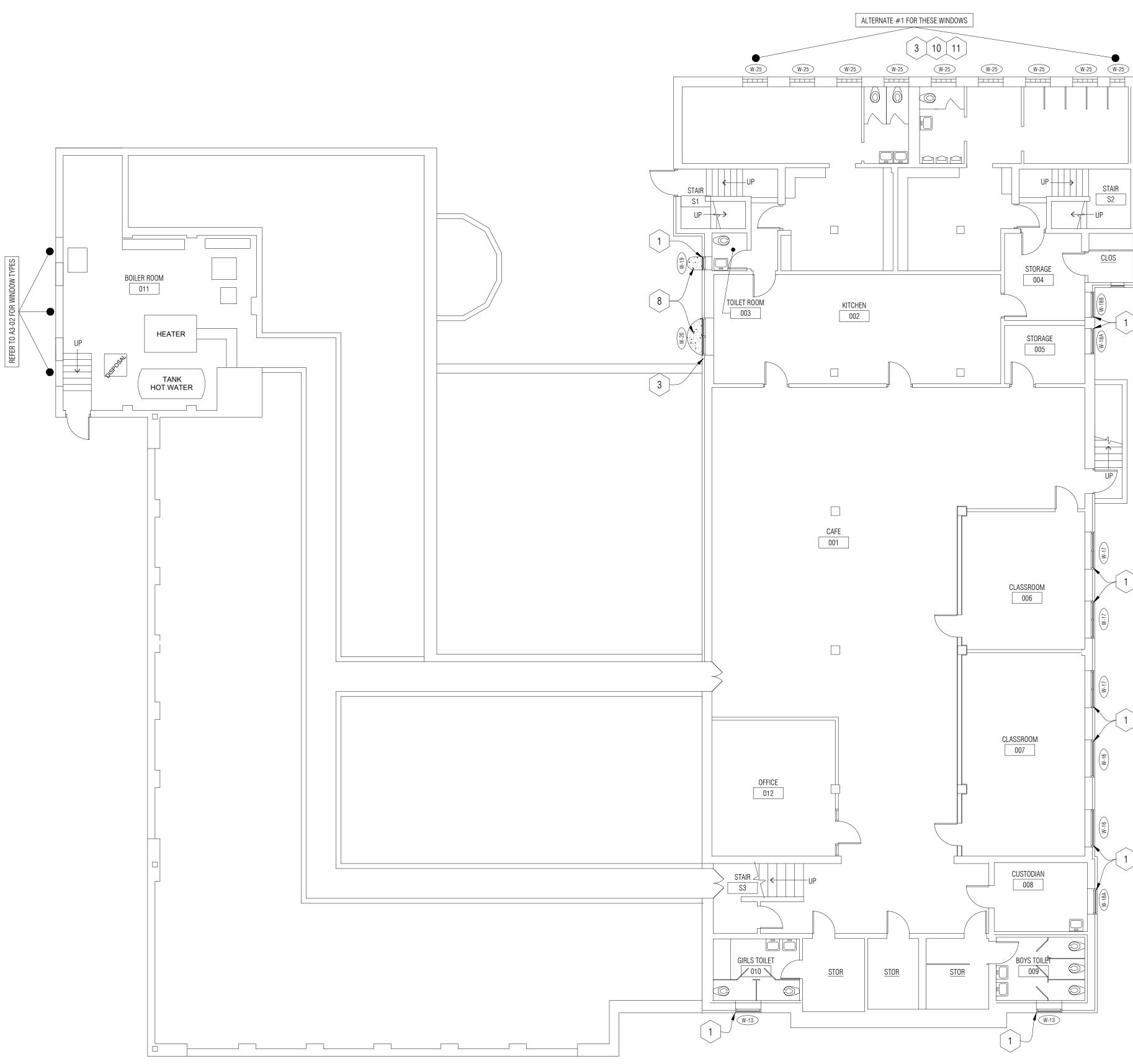
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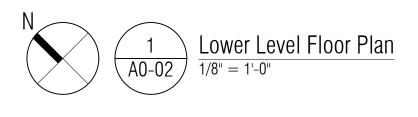
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DEMO PLAN











FLOOR PLAN GENERAL NOTES:

- A. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND UNDERSTANDING EXISTING CONDITIONS PRIOR TO STARTING WORK.
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- E. DISPOSE OF ALL DEMOLITION AND CONSTRUCTION MATERIALS LEGALLY OFF SITE.
- F. ALL CONSTRUCTION AND DEMOLITION MEANS, METHODS AND SAFETY PRECAUTIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR..

FLOOR PLAN KEY NOTES:

- 1 NEW STOREFRONT SYSTEM REFER TO OPENING SCHEDULE, OPENING DETAILS AND EXTERIOR ELEVATIONS.
- 2 NEW STOREFRONT SYSTEM WITHIN EXISTING STRUCTURAL METAL THAT IS TO REMAIN - REFER TO DETAIL 2/A3-02.
- 3 <u>ALTERNATE #1</u>: NEW GLASS BLOCK ASSEMBLY REFER TO ELEVATIONS AND SCHEDULE.
- 4 LINE OF NEW CANOPY ABOVE.
- 5 CANOPY SUPPORT COLUMNS REFER TO EXTERIOR ELEVATIONS.
- 6 NEW CANOPY REFER TO A5-03 SHEET AND SPECIFICATIONS FOR DETAILS.
- 7 NEW ROLLER SHADES (TYPE A) REFER TO A0-02 FOR MOUNTING HEIGHTS - COORDINATE SIZES W/ STOREFRONT ELEVATIONS AND OPENING SCHEDULE - REFER TO SPECIFICATIONS.
- 8 NEW CONC FILL, $\pm 12^{"}$ DEEP TO MATCH EXISTING ADJACENT CONC WALK ELEVATION - REFER TO DETAIL 6/A6-01 FOR ADJACENT MASONRY INFILL.
- 9 SCRAPE, PRIME AND PAINT ALL SURFACES OF EXISTING STEEL LINTELS (PNT-1).
- 10 MEDIUM PRESSURE CLEAN EXISTING STONE SILLS W/ MASONRY CLEANING DETERGENT - VERIFY PRESSURE AND DETERGENT AMOUNTS TO ENSURE NO MORTAR JOINT DAMAGE - COORDINATE CLEANING W/ REMOVAL OF EXISTING WINDOW SYSTEM.
- (11) RAKE AND SEAL MORTAR JOINTS AT STONE SILLS COLOR TO MATCH EXISTING STONE SILL.

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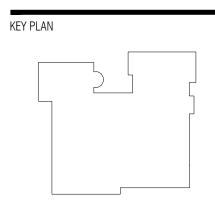
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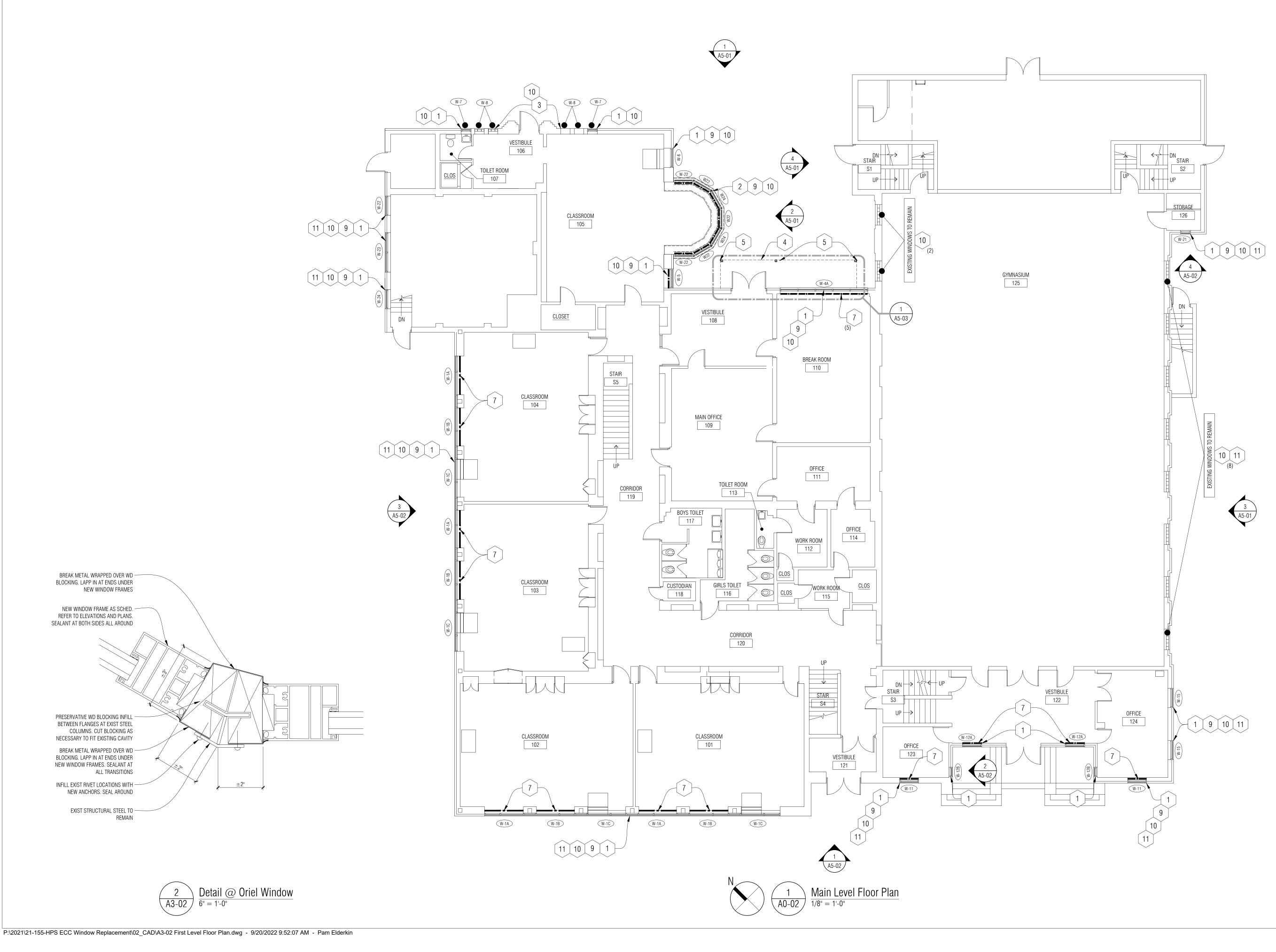
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LOWER LEVEL FLOOR PLAN



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FLOOR PLAN KEY NOTES:

- 1 NEW STOREFRONT SYSTEM REFER TO OPENING SCHEDULE, OPENING DETAILS AND EXTERIOR ELEVATIONS.
- 2 NEW STOREFRONT SYSTEM WITHIN EXISTING STRUCTURAL METAL THAT IS TO REMAIN - REFER TO DETAIL 2/A3-02.
- 3 <u>ALTERNATE #1</u>: NEW GLASS BLOCK ASSEMBLY REFER TO ELEVATIONS AND SCHEDULE.
- 4 LINE OF NEW CANOPY ABOVE.
- 5 CANOPY SUPPORT COLUMNS REFER TO EXTERIOR ELEVATIONS.
- 6 NEW CANOPY REFER TO A5-03 SHEET AND SPECIFICATIONS FOR DETAILS.
- 7 NEW ROLLER SHADES (TYPE A) REFER TO A0-02 FOR MOUNTING HEIGHTS - COORDINATE SIZES W/ STOREFRONT ELEVATIONS AND OPENING SCHEDULE - REFER TO SPECIFICATIONS.
- 9 SCRAPE, PRIME AND PAINT ALL SURFACES OF EXISTING STEEL LINTELS (PNT-1).
- 10 MEDIUM PRESSURE CLEAN EXISTING STONE SILLS W/ MASONRY CLEANING DETERGENT - VERIFY PRESSURE AND DETERGENT AMOUNTS TO ENSURE NO MORTAR JOINT DAMAGE - COORDINATE CLEANING W/ REMOVAL OF EXISTING WINDOW SYSTEM.
- 11 RAKE AND SEAL MORTAR JOINTS AT STONE SILLS COLOR TO MATCH EXISTING STONE SILL.

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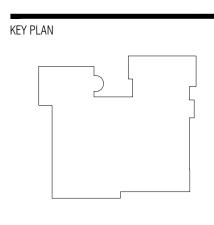
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PROJECT NAME

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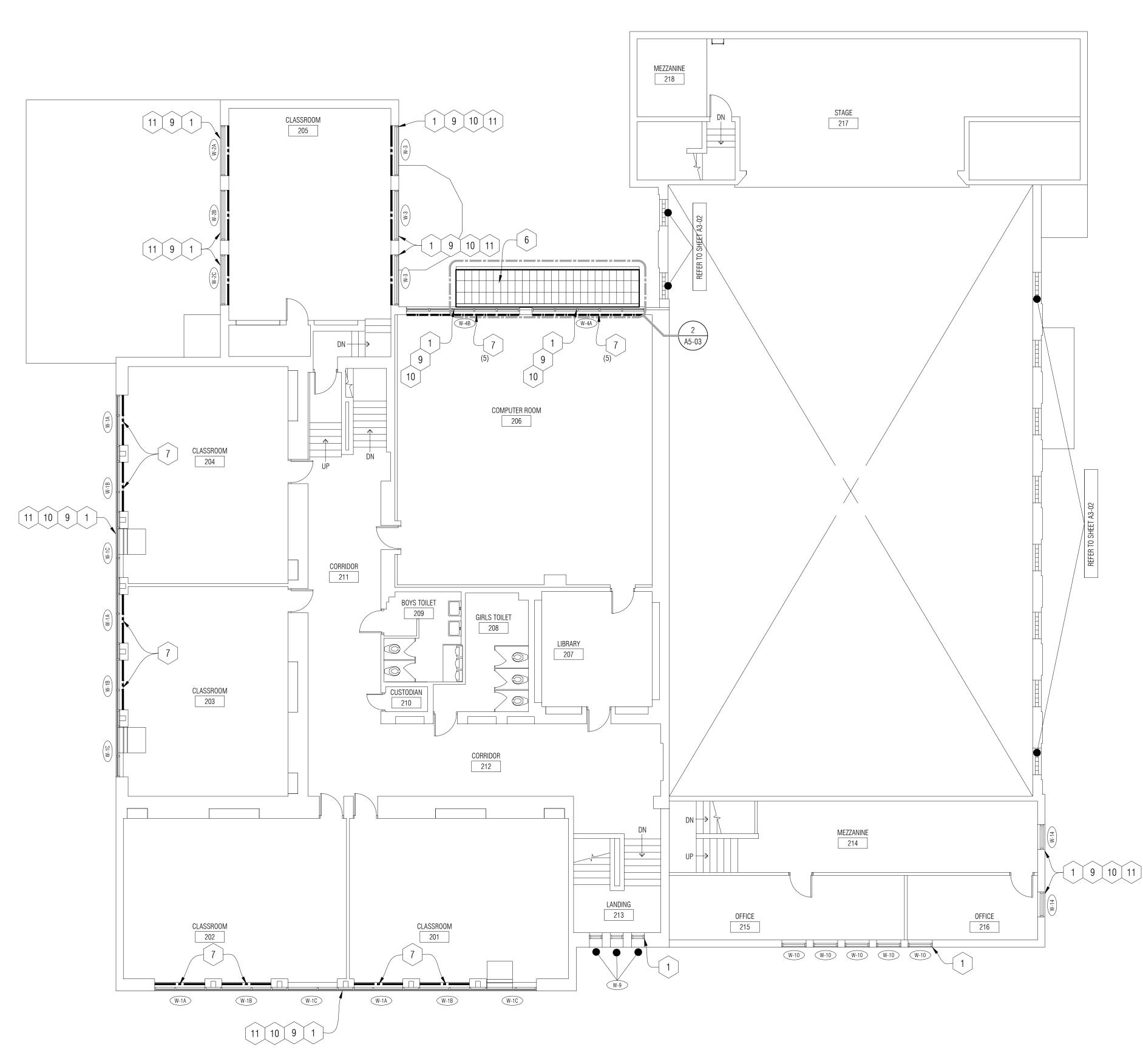
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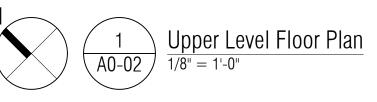
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MAIN LEVEL FLOOR PLAN





FLOOR PLAN GENERAL NOTES:

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FLOOR PLAN KEY NOTES:

- 1 NEW STOREFRONT SYSTEM REFER TO OPENING SCHEDULE, OPENING DETAILS AND EXTERIOR ELEVATIONS.
- 2 NEW STOREFRONT SYSTEM WITHIN EXISTING STRUCTURAL METAL THAT IS TO REMAIN REFER TO DETAIL 2/A3-02.
- 3 <u>Alternate #1:</u> New Glass Block Assembly Refer to Elevations and Schedule.
- 4 LINE OF NEW CANOPY ABOVE.
- 5 CANOPY SUPPORT COLUMNS REFER TO EXTERIOR
- ELEVATIONS. 6 NEW CANOPY - REFER TO A5-03 SHEET AND SPECIFICATIONS FOR DETAILS.
- 7 NEW ROLLER SHADES (TYPE A) REFER TO A0-02 FOR MOUNTING HEIGHTS - COORDINATE SIZES W/ STOREFRONT ELEVATIONS AND OPENING SCHEDULE - REFER TO SPECIFICATIONS.
- 8 NEW CONC FILL, ±12" DEEP TO MATCH EXISTING ADJACENT CONC WALK ELEVATION - REFER TO DETAIL 6/A6-01 FOR ADJACENT MASONRY INFILL.
- 9 SCRAPE, PRIME AND PAINT ALL SURFACES OF EXISTING STEEL LINTELS (PNT-1).
- 10 MEDIUM PRESSURE CLEAN EXISTING STONE SILLS W/ MASONRY CLEANING DETERGENT - VERIFY PRESSURE AND DETERGENT AMOUNTS TO ENSURE NO MORTAR JOINT DAMAGE - COORDINATE CLEANING W/ REMOVAL OF EXISTING WINDOW SYSTEM.
- 11 RAKE AND SEAL MORTAR JOINTS AT STONE SILLS COLOR TO MATCH EXISTING STONE SILL.

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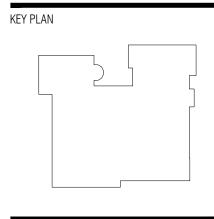
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Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO.

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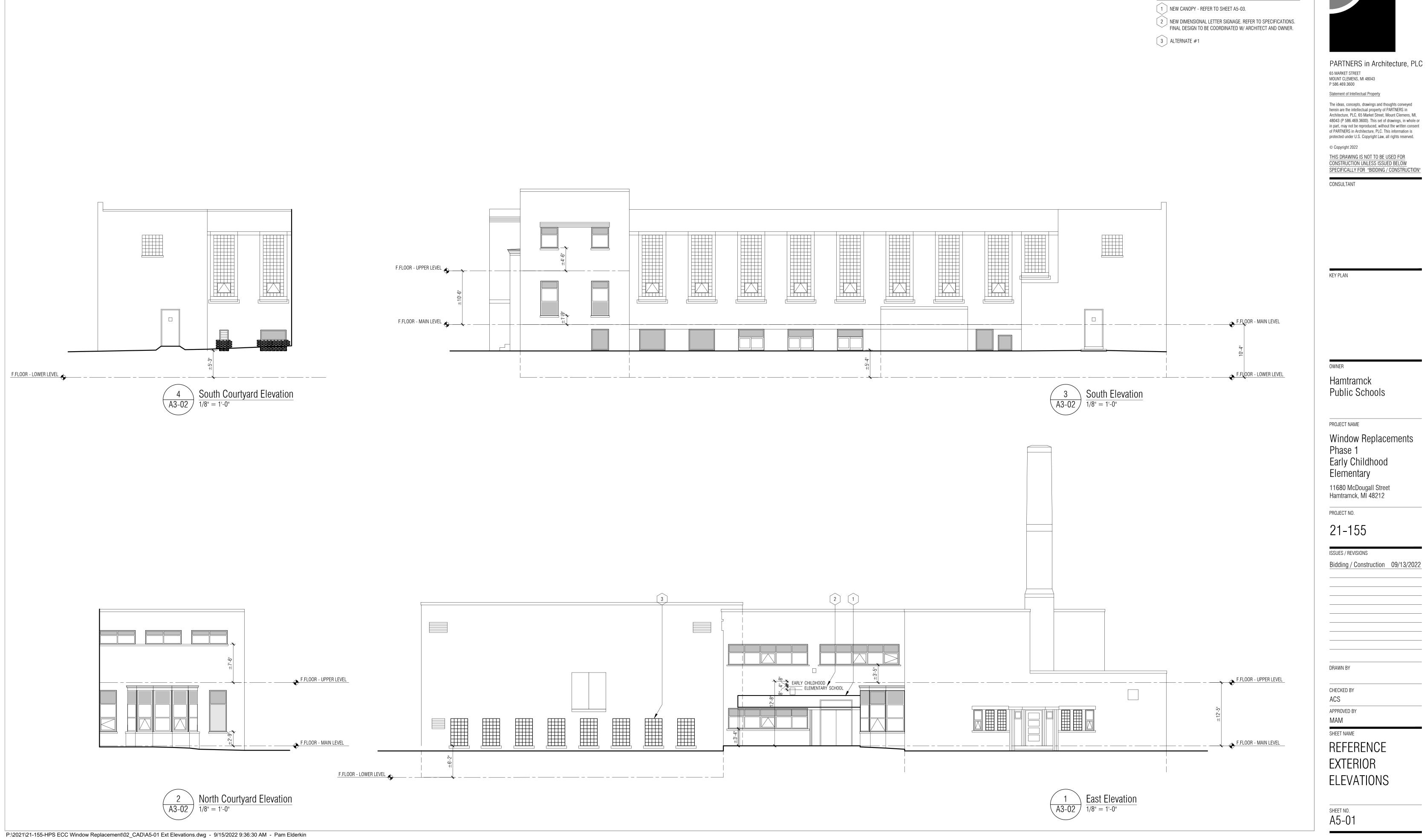
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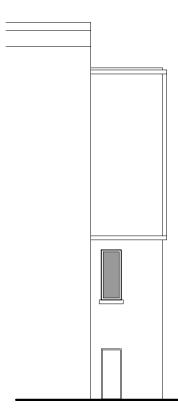
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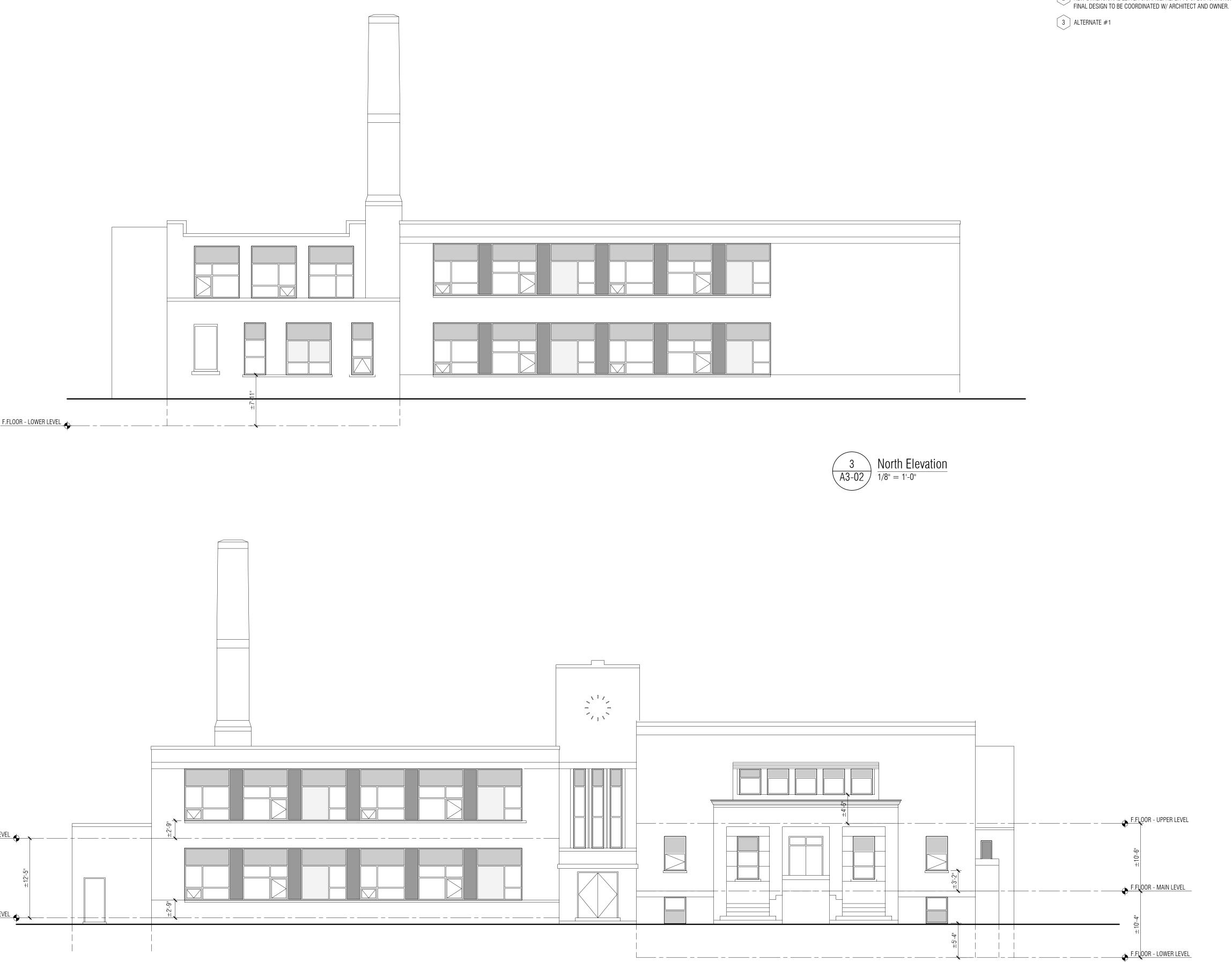
UPPER LEVEL FLOOR PLAN

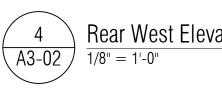


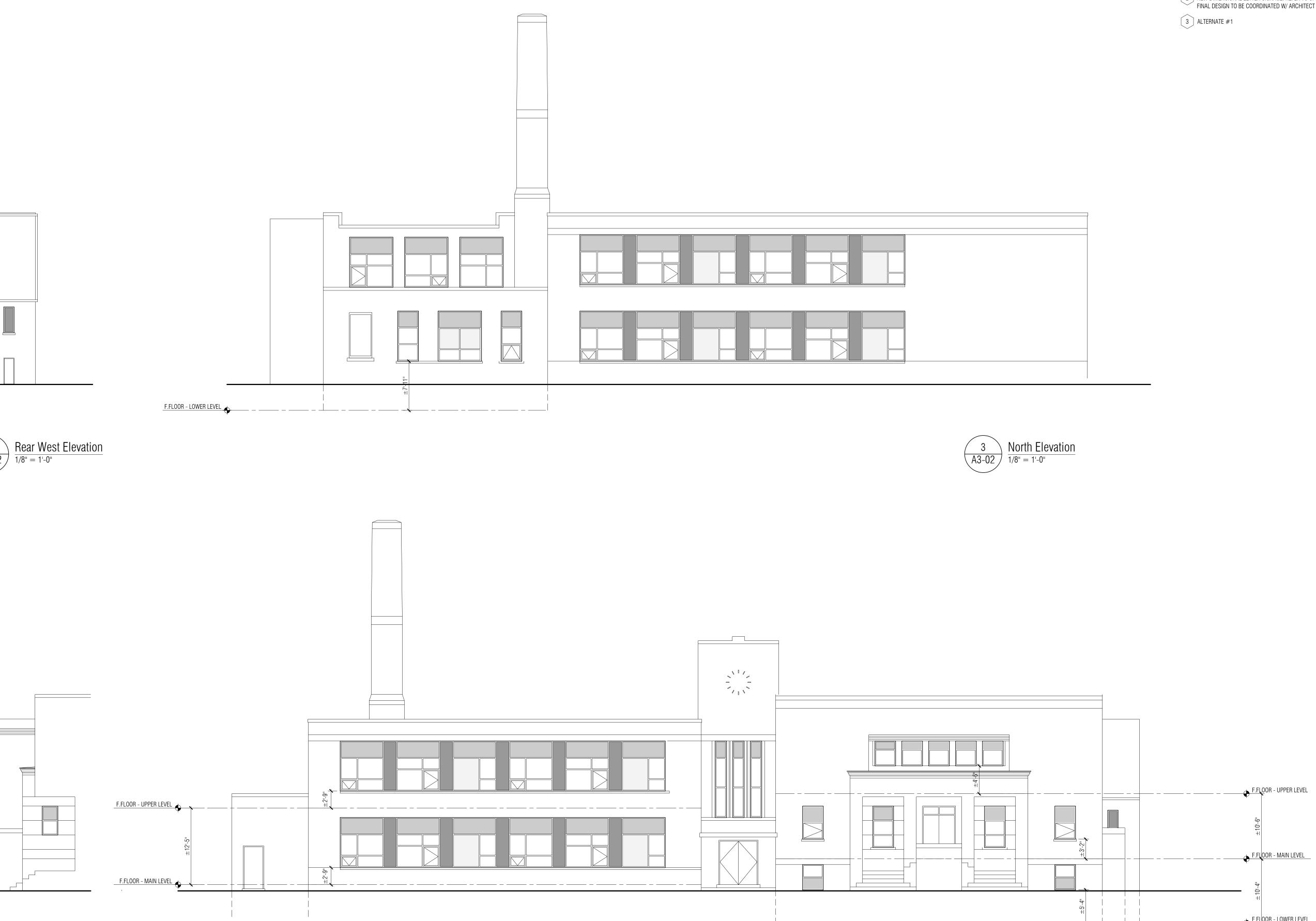
ELEVATION KEY NOTES:

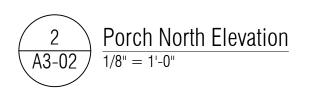
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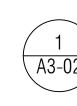








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ELEVATION KEY NOTES:

1 NEW CANOPY - REFER TO SHEET A5-03.

2 NEW DIMENSIONAL LETTER SIGNAGE. REFER TO SPECIFICATIONS.

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KEY PLAN

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Hamtramck Public Schools

PROJECT NAME

Window Replacements Phase 1 Early Childhood Elementary

11680 McDougall Street Hamtramck, MI 48212

PROJECT NO.

21-155

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REFERENCE

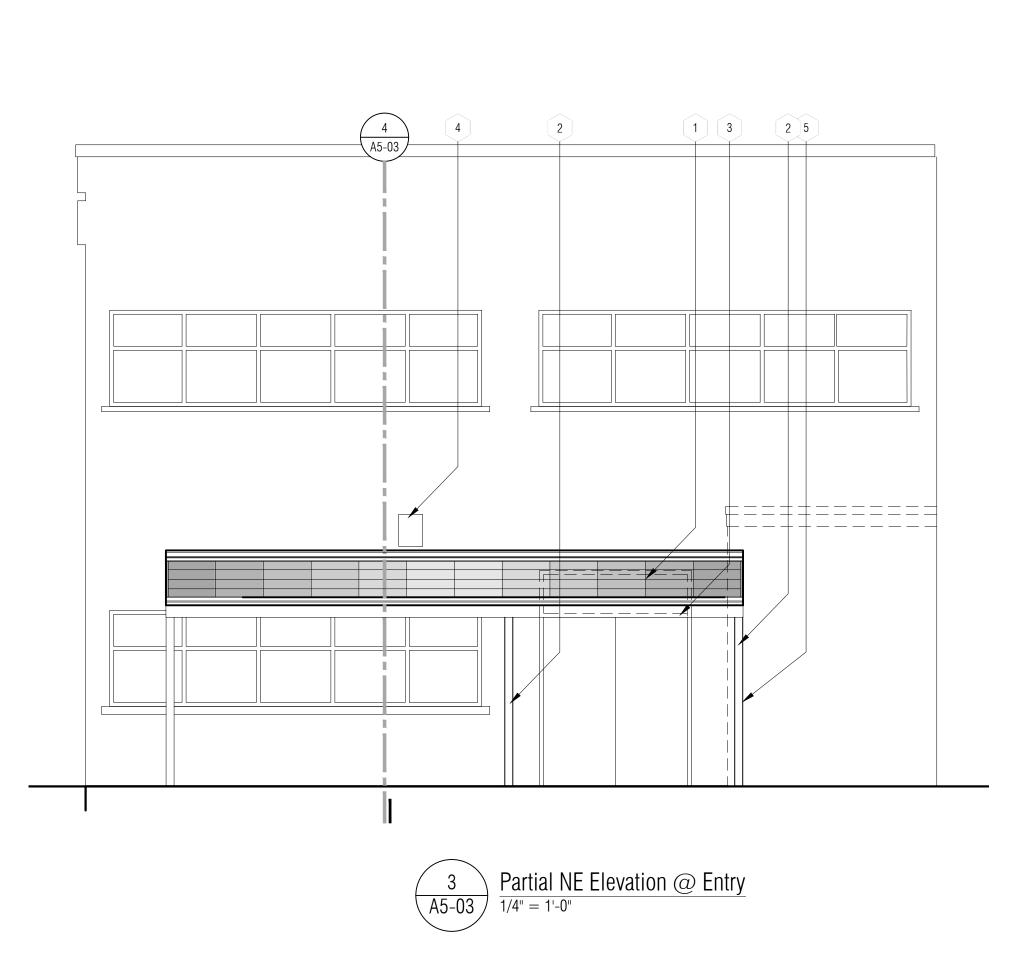
ELEVATIONS

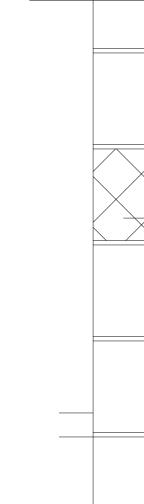
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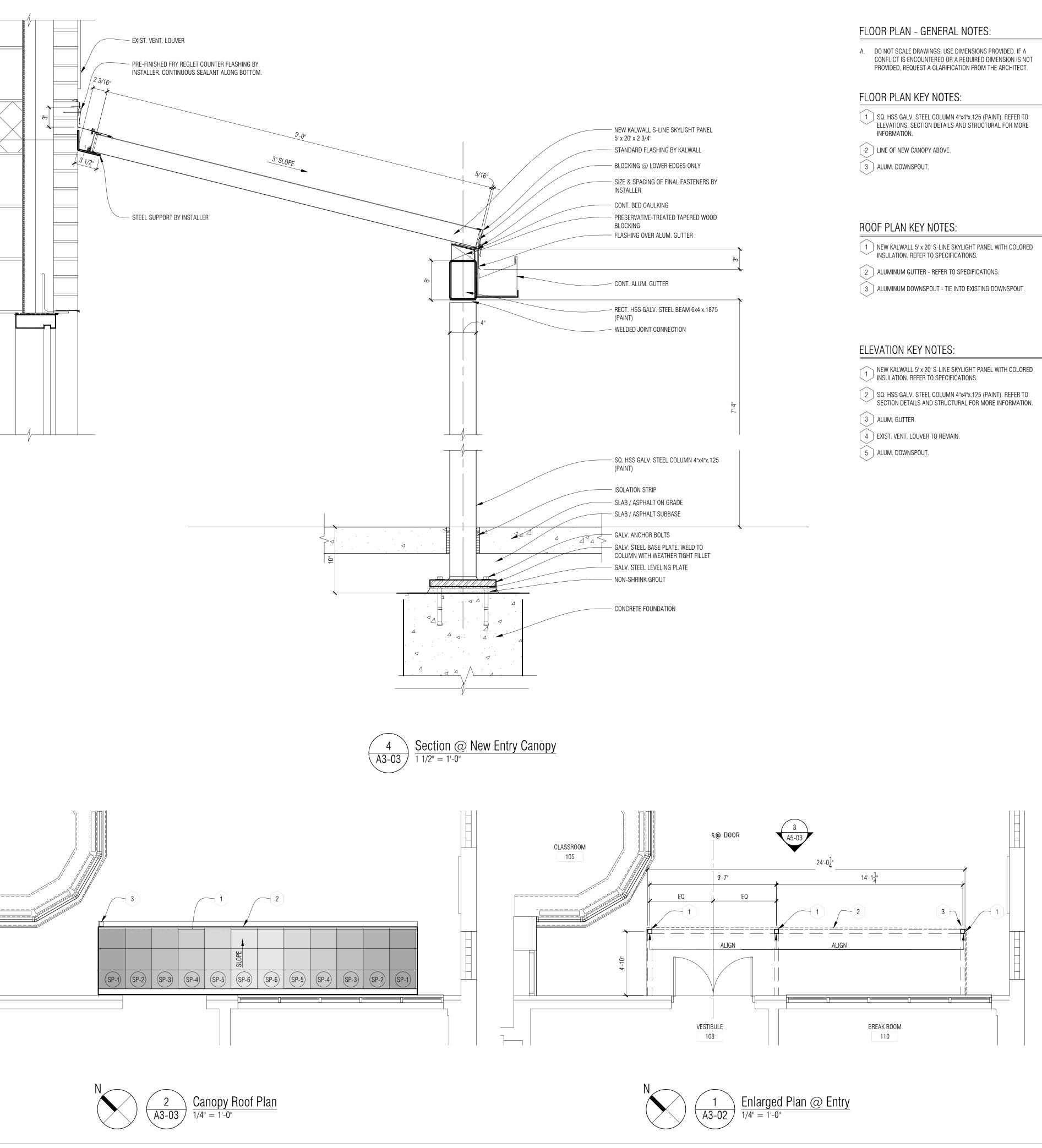


(1) A3-02 West Elevation 1/8" = 1'-0"





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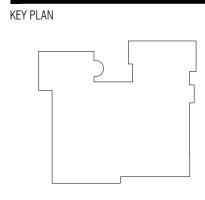
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Hamtramck Public Schools

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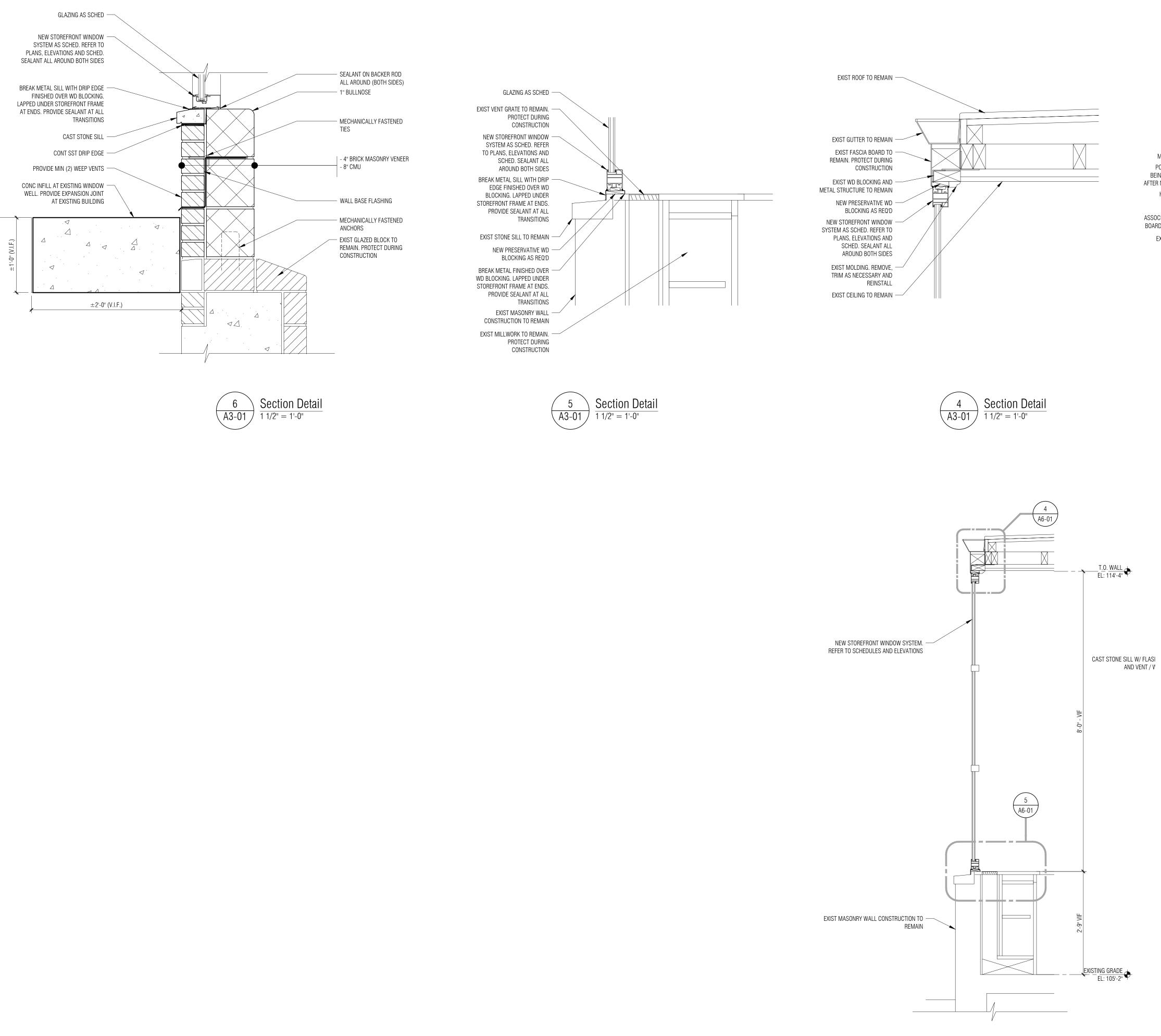
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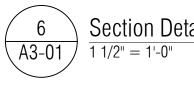
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| ELEVA | TIONS, |
| ENLAR | GED PLANS |
| SECTIO | ON DETAILS |

SHEET NO. A5-03

OWNER

PROJECT NAME





Wall Section A3-01 $7 \overline{3/4"} = 1'-0"$

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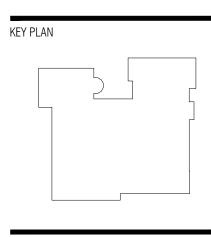
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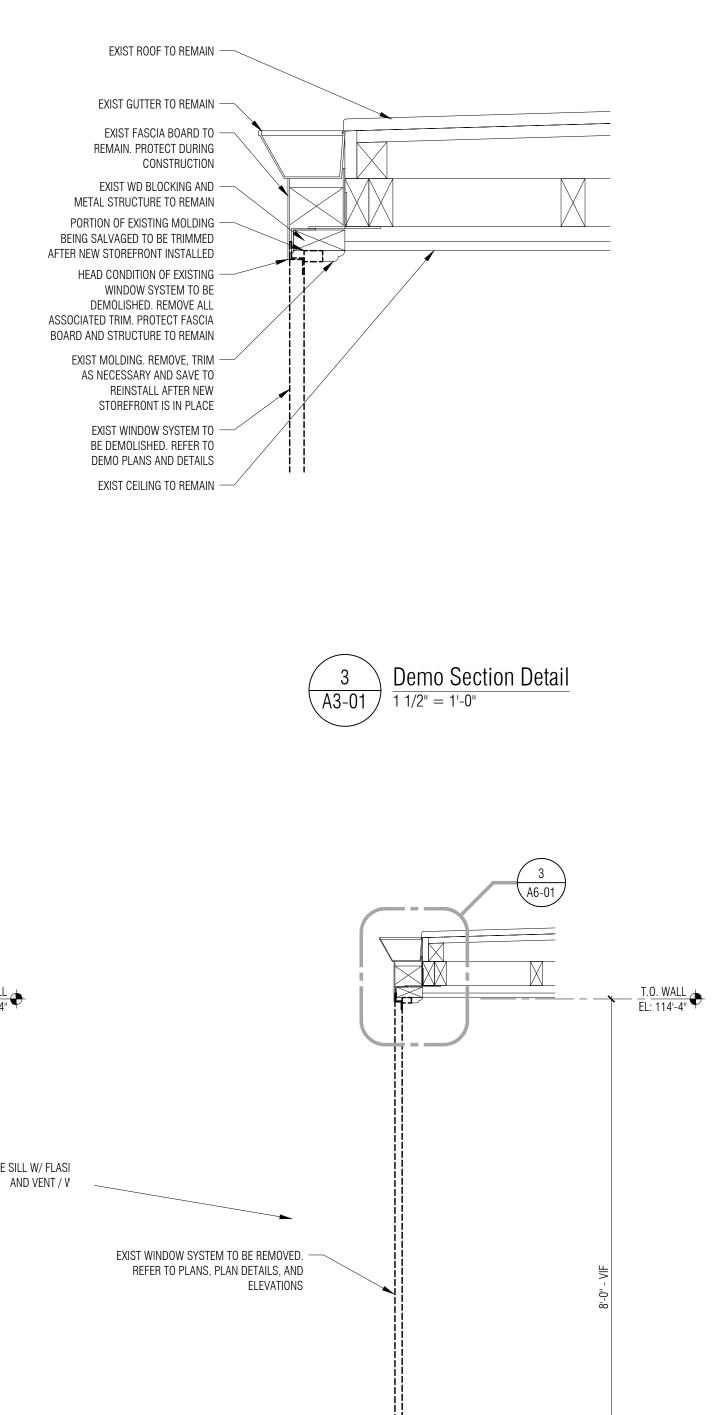
21-155

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DRAWN BY CWP CHECKED BY ACS APPROVED BY MAM SHEET NAME WALL SECTIONS, DETAILS

SHEET NO. A6-01

EXISTING GRADE EL: 105'-2"



EXIST VENT GRATE TO REMAIN. PROTECT — DURING CONSTRUCTION WINDOW SYSTEM SILL TO BE -

DEMOLISHED. PROTECT EXIST MASONRY AND MILLWORK EXIST STONE SILL TO REMAIN -

EXIST MILLWORK TO REMAIN -

EXIST MASONRY WALL CONSTRUCTION TO -REMAIN

> Demo Wall Section A3-01 / 3/4" = 1'-0"